

Franklin Elementary

Life Safety



3. Fire Alarm system

- a. The fire alarm system is original to building. The equipment appears to be in working condition but is at the end of their life expectancy and does not meet current code requirements. A new fire alarm system with voice evacuation will be required for a renovation.



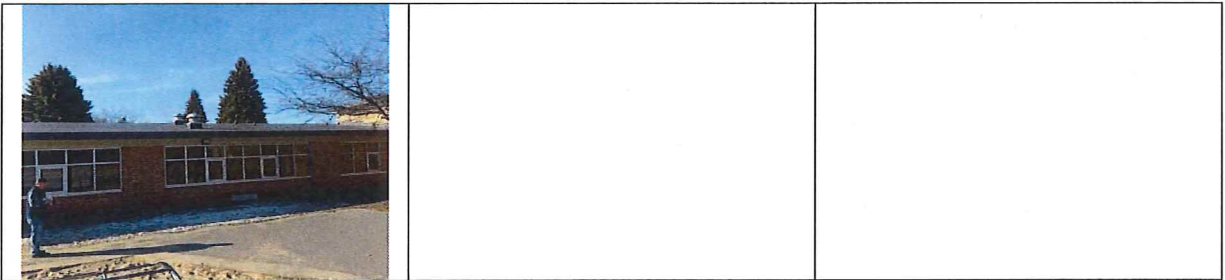
Franklin Elementary

Mechanical and Plumbing



Assessment Notes:

1. Air handling systems
 - a. There are a number of exhaust fans on the roof that would likely be replaced with new or be removed with a new system design.



2. Central plant systems
 - a. Hot water boilers (4) built in 1996 should be replaced with new high efficiency boilers.
 - b. Older hot water pumps should be replaced with the addition of VFDs.
 - c. No cooling in building.



Franklin Elementary

Mechanical and Plumbing



3. Terminal devices and air terminals
 - a. Cabinet heaters and horizontal unit ventilators throughout are older and in fair condition.
 - b. Consider replacing horizontal unit ventilators with vertical unit ventilators in classrooms and add cooling.



4. Building controls
 - a. Newer DDC system is installed in building with new sensors.



Franklin Elementary

Mechanical and Plumbing



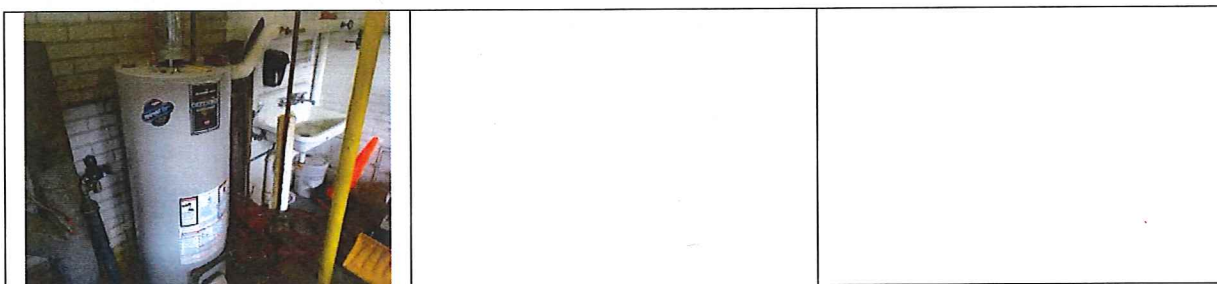
5. Plumbing fixtures

- a. Mix of plumbing fixture types and condition throughout. Older fixtures should be replaced.
- b. Manual flush valves.



6. Plumbing systems

- a. Newer domestic water heater is in good condition.



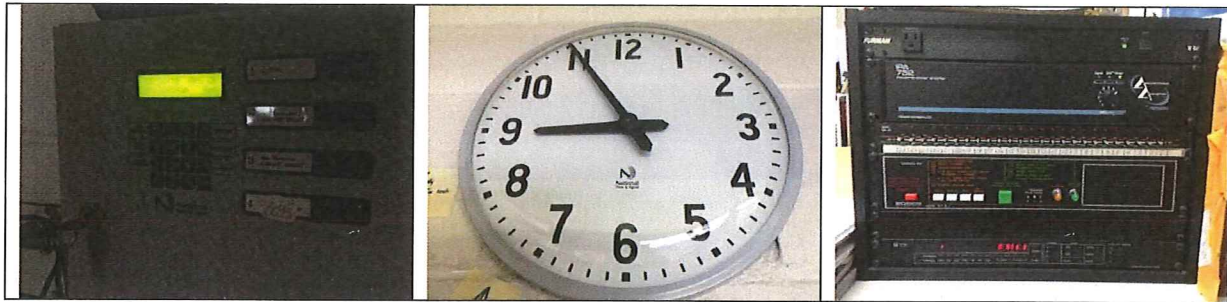
Franklin Elementary

Technology and Communications

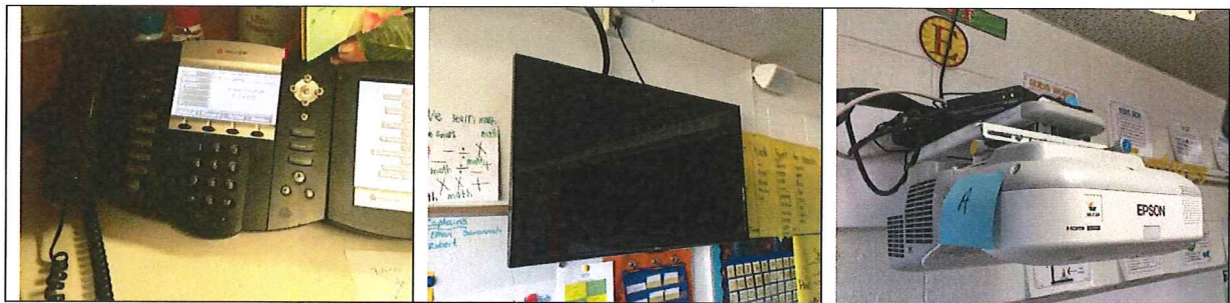


Assessment Notes:

1. Technology infrastructure
 - a. The technology infrastructure appears to be newer and in good working condition. The supporting electrical infrastructure should be reviewed for redundancy and proper operation. An electrical generator system could also be considered for the technology closets for standby by power and providing emergency power.
2. Clock and PA systems
 - a. The clock and PA systems appear to be original to the building. This equipment appears in good working condition but is at the end of their life expectancy. Availability of replacement parts and required maintenance should also be considered.



3. Classroom and communications technology
 - a. The technology devices and systems appear to be newer and in good working condition. These systems would be maintained or re-installed after renovation.



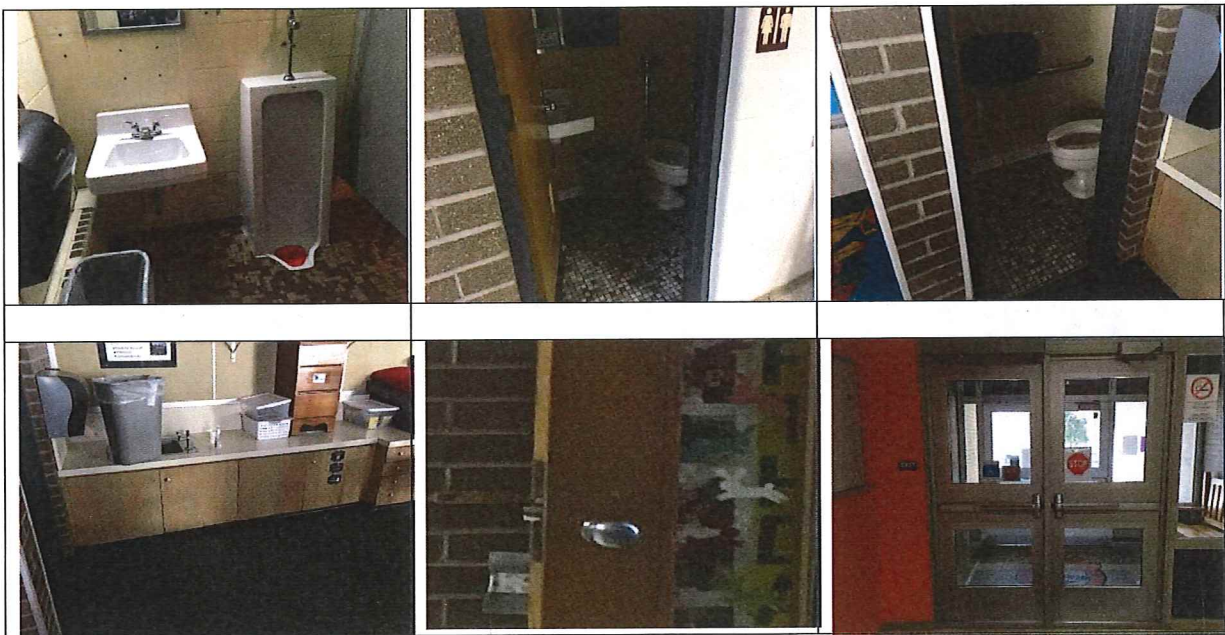
Lakeview Elementary

ADA Accessibility Assessment



Assessment Notes:

1. Interior
 - a. None of the bathrooms observed in the building are ADA compliant, including sinks, water closets, toilet compartments, maneuvering clearances, accessories and door hardware. This is inclusive of the single occupant toilets and the gang bathrooms. All would require a complete reconstruction to meet current code requirements.
 - b. The classroom sinks appear to allow for a side approach to meet code requirements.
 - c. Knob type locksets noted throughout the building which does not meet current code requirements.
 - d. An auto operator was noted at the main entrance.
 - e. The raised platform in adjacent to the multi-purpose room is not accessible. A ramp or lift is needed to bring it into compliance.
 - f. There is no ADA access to the upper floor. A passenger elevator is recommended to provide adequate ADA access.



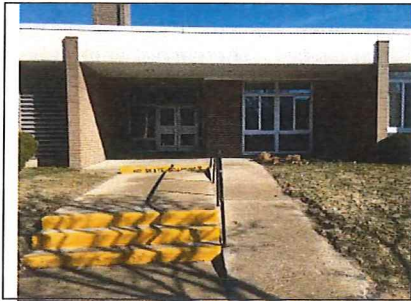
Lakeview Elementary

ADA Accessibility Assessment



2. Exterior

- a. There is not adequate ADA parking with an accessible route to the building.
- b. The ramp to main entrance is not compliant.
- c. There is no clear pathway from the parking to the building entrance, ADA or otherwise.
- d. The concrete walks to the building are in fair conditions to poor condition.



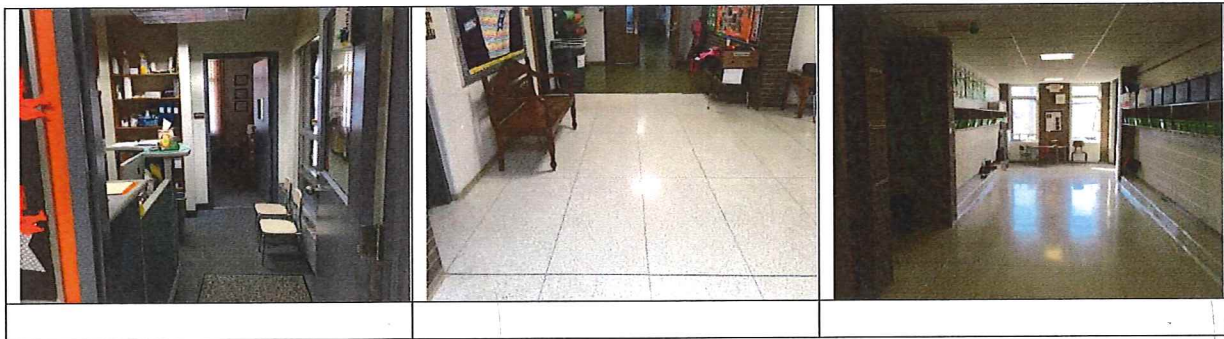
Lakeview Elementary

Interior Finishes



Assessment Notes:

1. Flooring
 - a. Terrazzo
 - i. Located primarily in the corridors, on both floors, along with the 2nd floor bathrooms. It is generally in good condition.
 - b. Carpet
 - i. The classrooms and media center flooring is broadloom carpet. The carpet is in poor condition, worn in the high traffic areas, with some fraying and buckling evident. Recommend that it all be replaced.
 - c. Ceramic Tile
 - i. The restroom flooring on the first floor and in the classrooms is 1"x1" ceramic tile. It is stained and has been patched at some locations. Removed and replaced as part of a restroom reconstruction.
 - d. Vinyl Composite tile
 - i. Noted in the kitchen. In fair condition with the exception of areas adjacent to the exterior door which are failing.
 - e. Resin coated
 - i. The multi-purpose room has a resin coating applied over the existing sports floor. Additional applications could extend the life of the flooring.
 - f. Note that the floor tile in the art/music room appears is 9x9 which generally denotes it is an asbestos containing product. Remediation recommended.



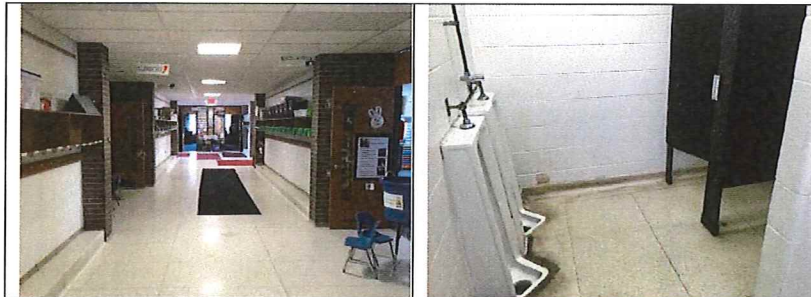
Lakeview Elementary

Interior Finishes



2. Walls

- a. Painted CMU walls are in fair to poor condition. There was many areas of peeling and discolored paint noted.
- b. Exposed brick walls are in good conditions.
- c. Gypsum board walls in the office area are in fair condition.



3. Ceilings

- a. 2'x4'suspended acoustical ceilings
 - i. The corridors are in poor condition and should be replaced. Ceiling tile is mismatched, damaged, and stained. Parts of the grid are damaged and rusting.
 - ii. The classrooms are in poor condition and should be replaced. Ceiling tile and grid are mismatched, damaged, and stained
- b. Painted hard lid ceiling
 - i. The painted hard lid ceilings and bulkheads are in fair condition.
- c. Exposed
 - i. The exposed metal deck in the multi-purpose room and storage rooms are in good condition.

Lakeview Elementary

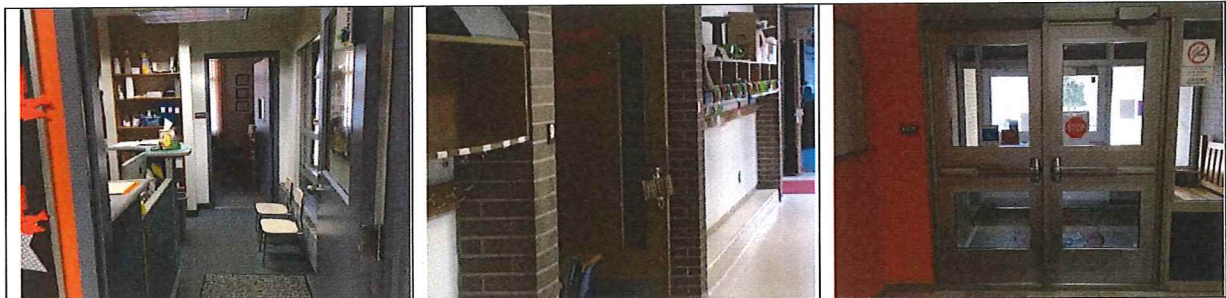
Interior Finishes



- d. The direct applied acoustical
 - i. The direct applied acoustical ceiling s in the restrooms are faded and stained.
Replaced as part of the restroom reconstruction.



- 4. Doors and Hardware
 - a. The doors and hardware are in fair to poor condition, with the exception of
 - b. The locksets are of a non-compliant knob type.
 - c. The corridor doors, frames, hardware, and glazing are not compliant with current fire code and ADA standards.



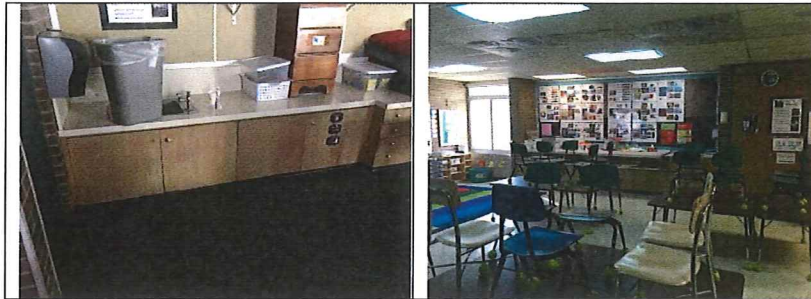
Lakeview Elementary

Interior Finishes



5. Casework

- a. The classroom casework is limited to lowers cabinets and open shelving,
- b. The casework and counters are worn, damaged, missing hardware and showing signs of heavy wear. Recommend they be replaced to maximize classroom storage and efficiency.



6. Miscellaneous

- a. There are no student lockers. There are hooks and cubbies located within each classroom for student use.
- b. The markerboard and tackboards are inconsistent in respect to size and configuration within each room. There are unutilized chalkboards in some classrooms.
- c. The toilet partitions are of differing material ranging from good to poor condition.

Lakeview Elementary

Building Envelope



Assessment Notes:

1. Brick
 - a. The brick is generally in good condition. General maintenance recommended at control joints and around imbedded items to maintain integrity of the caulk joints.
 - b. Light damage noted at a few locations.
 - c. The chimney is in poor condition with visible signs of brick failure. Recommend it be partial rebuilt or removed.
2. Soffit and fascia
 - a. Metal panel fascia in fair to poor conditions. The finish is faded and chipped. Rust is present at many locations.
 - b. The perimeter sealant at metal panels has failed and needs to be removed and replaced.
 - c. The soffit material is cementitious, possible transite. Most of the joint sealant has failed. Many of the fasteners have started popping and some of the panels are starting to sag. Recommend removal and replacement.
3. Windows and doors
 - a. The aluminum window systems are double pane thermally broken observed in good condition.
 - b. The primary and secondary entrance doors are aluminum storefronts with new hardware, in good condition.
 - c. The secondary doors are FRP with aluminum frames and newer hardware, in good condition.
4. Roofing
 - a. See roofing report



Lakeview Elementary Building Envelope

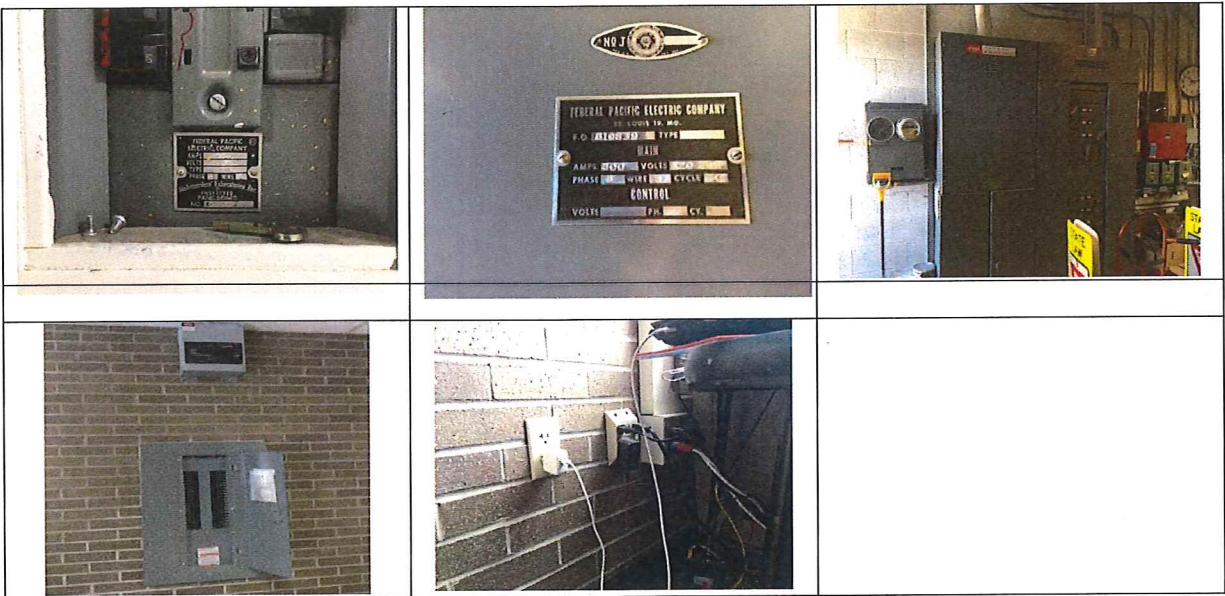


Lakeview Elementary Electrical



Assessment Notes:

1. Electrical distribution system
 - a. Electrical distribution system is original to building including switchboard and panelboards. The equipment appears to be in good working condition but is at the end of their life expectancy. A new electrical distribution system is recommended to be installed with renovations.
 - b. To comply with current electrical safety standards a fault current and arc flash study should be completed to evaluate the electrical equipment's ratings, required personal protective equipment and install proper warning labeling.
 - c. General receptacle locations are limited in classrooms and other areas. Multiple examples of power strips and devices on floors. Renovation should include new receptacle and power requirements to support uses.



2. Lighting system
 - a. Interior lighting systems are predominantly T-12 fluorescent technology in the classrooms, corridors, offices and support spaces. T-8 fluorescent technology is installed in most corridors and is reasonably efficient. A cost benefit analysis is recommended for T-8 fluorescent against LED lighting. For other fixtures types (including HID and T-12 fluorescent) it is recommended these be replaced with LED lighting.

Lakeview Elementary

Electrical



- b. Exterior lighting systems are predominantly LED lighting. These light fixtures can be re-used in a renovation.



3. Lighting control system

- a. Lighting control systems are predominantly manual wall switches. To meet current energy code requirements occupancy sensors or other lighting controls will need to be installed.
- b. The exterior lighting is controlled manually and by photocell. Lighting controls with programmable schedules is recommended for renovation.

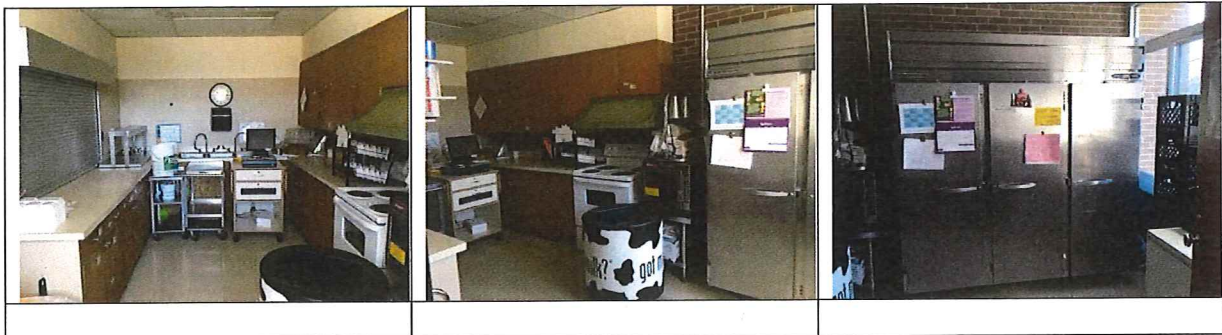
Lakeview Elementary

Food Service



Assessment Notes:

1. The kitchen is for warming and serving only. There is a single serving point through the East wall. Reconfiguring the serving area should be considered to increase flow and efficiency.
2. The kitchen equipment appears to be in good condition.
3. The VCT floor is in good condition.
4. There is a residential stove/oven along with a residential exhaust hood.
5. Unable to verify a grease interceptor associated with the 3 compartment sink.
6. Casework is of a residential type, in poor condition.
7. The acoustical ceiling does not appear to be of a washable type standard in kitchens. It is stained, discolored and mismatched.



Lakeview Elementary

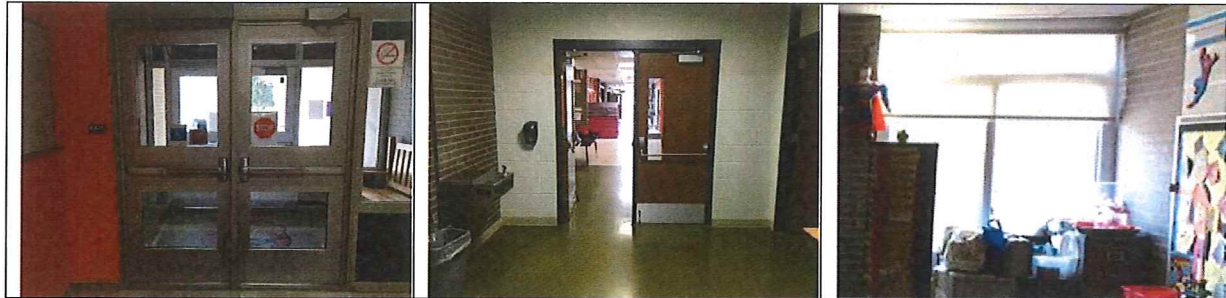
Life Safety



Assessment Notes:

1. Building Components

- a. The building does not appear to have a fire suppression system and is non-sprinkled, with the exception of the kiln room.
- b. The exit corridors have panic bars or crash bars that are in good condition.
- c. The classroom windows have emergency egress.
- d. Fire extinguishers cabinets observed throughout the building.



2. Emergency Lighting system

- a. Exit signs and emergency lighting appear to not be supplied by any emergency power source. To comply with current life safety code a building code evaluation would need to be completed and all new emergency lighting and exit signs installed. A new electrical generator system is recommended as a power source for emergency power.



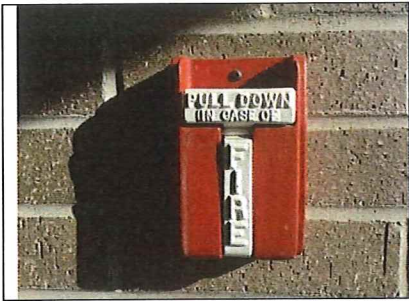
Lakeview Elementary

Life Safety



3. Fire Alarm system

- a. The fire alarm system is original to building. The equipment appears to be in working condition but is at the end of their life expectancy and does not meet current code requirements. A new fire alarm system with voice evacuation will be required for a renovation.



Lakeview Elementary

Mechanical and Plumbing



Assessment Notes:

1. Air handling systems
 - a. Air handling units (2) in gym should be replaced with new.
 - b. Various hoods and exhaust fans on roof appear to be in fair condition.



2. Central plant systems
 - a. Hot water boilers (4) built in 1989 should be replaced with new high efficiency boilers.
 - b. Older hot water pumps should be replaced with the addition of VFDs.
 - c. No cooling in building.



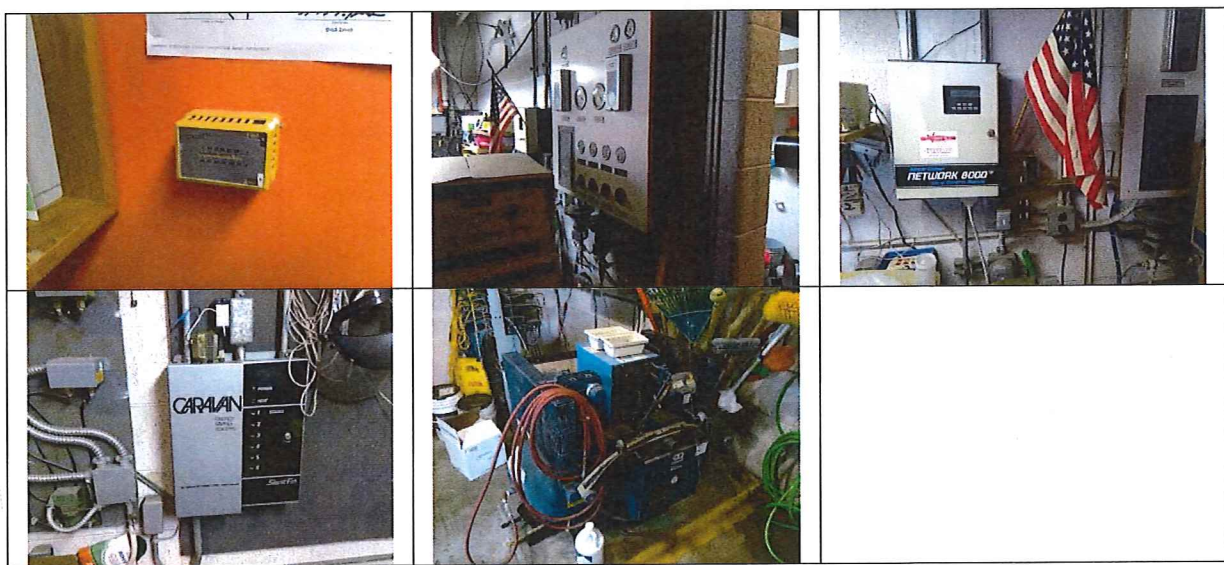
Lakeview Elementary Mechanical and Plumbing



3. Terminal devices and air terminals
 - a. Cabinet heaters and horizontal unit ventilators throughout are older and in fair condition.
 - b. Consider replacing horizontal unit ventilators with vertical unit ventilators in classrooms and add cooling.



4. Building controls
 - a. Pneumatic controls should be replaced with new DDC system and new sensors throughout.



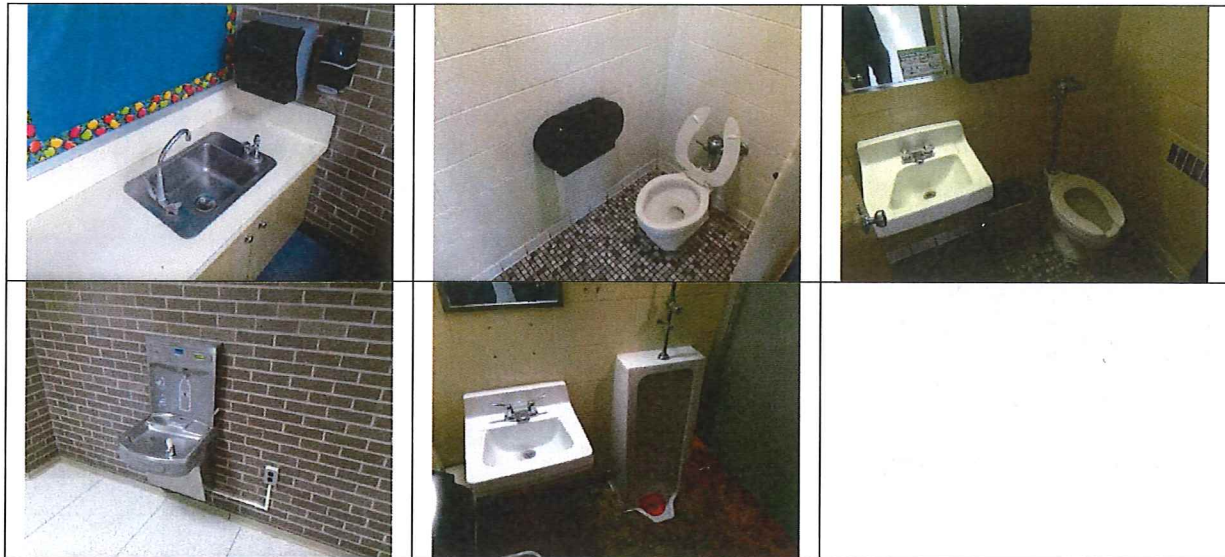
Lakeview Elementary

Mechanical and Plumbing



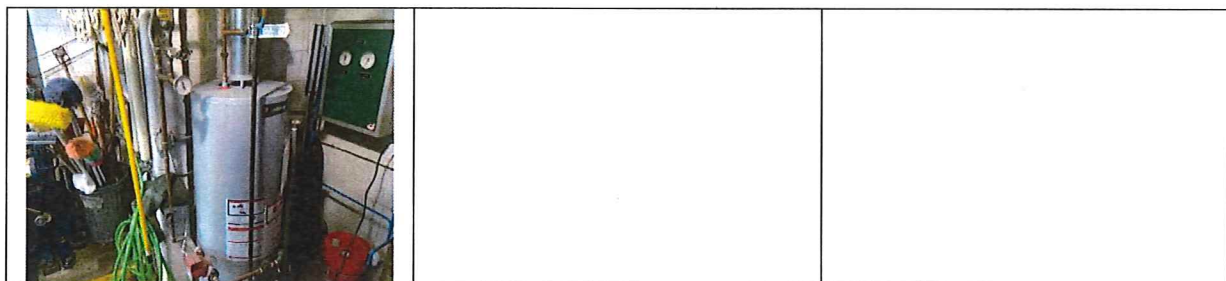
5. Plumbing fixtures

- a. Mix of plumbing fixture types and condition throughout. Older fixtures should be replaced.
- b. Manual flush valves.



6. Plumbing systems

- a. Newer domestic water heater is in good condition.



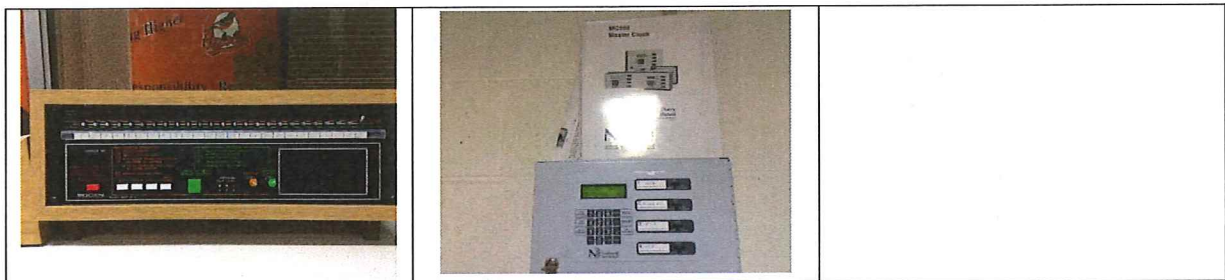
Lakeview Elementary

Technology and Communications

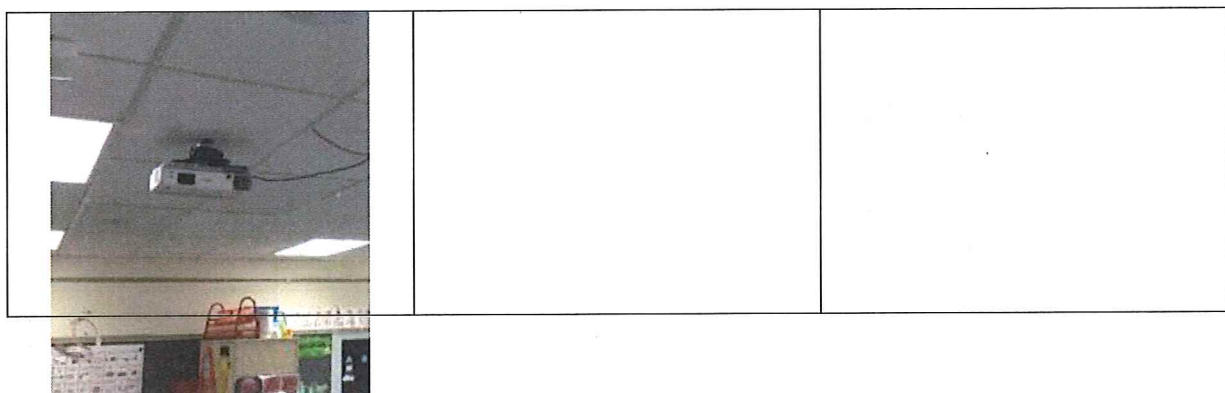


Assessment Notes:

1. Technology infrastructure
 - a. The technology infrastructure appears to be newer and in good working condition. The supporting electrical infrastructure should be reviewed for redundancy and proper operation. An electrical generator system could also be considered for the technology closets for standby by power and providing emergency power.
2. Clocks and PA systems
 - a. The clock and PA systems appear to be original to the building. This equipment appears in good working condition but is at the end of their life expectancy. Availability of replacement parts and required maintenance should also be considered.



3. Classroom and communication technology
 - a. The technology devices and systems appear to be newer and in good working condition. These systems would be maintained or re-installed after renovation.



Foster Elementary

ADA Accessibility Assessment



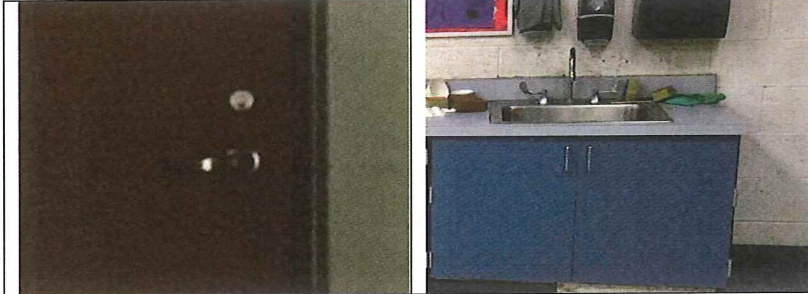
Assessment Notes:

1. Interior
 - a. The first floor restrooms, across from the gymnasium, are not compliant with current ADA requirements, in regards to toilet compartments, sinks, faucets, accessories, and turning clearances. To reconfigure the restrooms requires a complete reconstruction.
 - b. The showers are not code compliant for ADA (or plumbing) requirements.
 - c. The restrooms located in the main lobby area are partially compliant and could be reconfigured to meet current standards.
 - d. The second floor restrooms are compliant, with the exception of a vertical grab bar.
 - e. In general, the door hardware is a lever type, and in compliance.
 - f. There is an elevator that meets current ADA requirements.
 - g. Classroom sinks and hardware are compliant.
 - h. An auto door operator was not observed on the front entry doors or at the back parking lot area.
 - i. The raised platform in the gymnasium is not compliant. A ramp or lift is needed to meet current requirements.



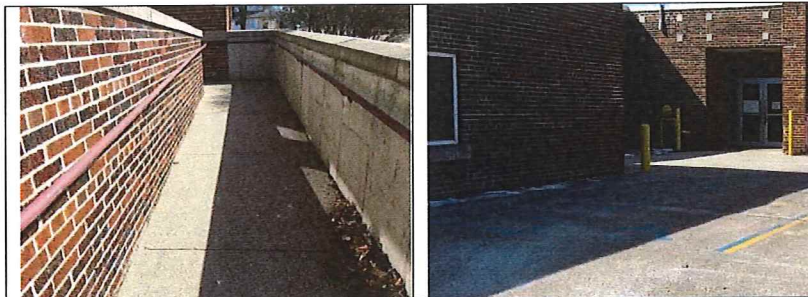
Foster Elementary

ADA Accessibility Assessment



2. Exterior

- a. There is very limited ADA parking and it is not clearly defined. One striped parking spot noted in a secondary entrance lot.
- b. No ADA signage noted.
- c. No tactile warning strips noted at curb cut downs.
- d. The ramp noted at the front entry exceeds the slope limits for ADA compliance.



Foster Elementary

Interior Finishes

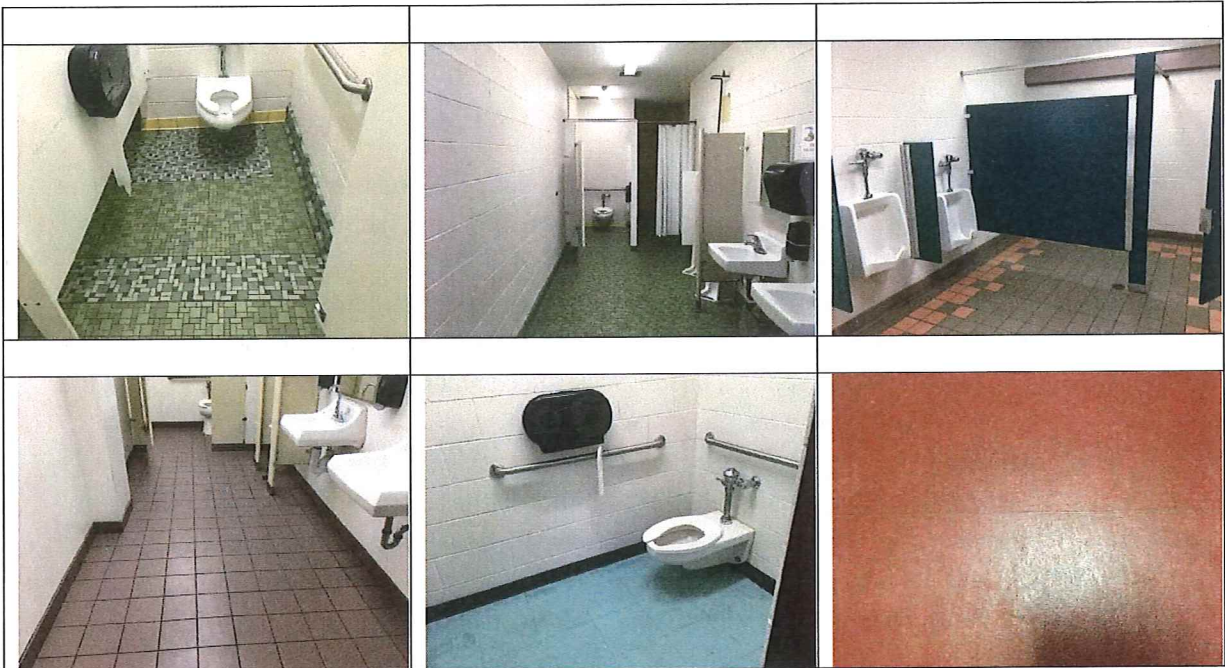


Assessment Notes:

1. Flooring
 - a. Carpet
 - i. The Broadloom carpet observed in the first floor classrooms is in poor condition. The carpet is worn, frayed, and buckling. Recommend that it be replaced throughout the first floor classrooms.
 - ii. The broadloom carpet on the second floor is in good condition.
 - iii. Broadloom carpet observed in the lower level corridors in fair to poor condition. The carpet is worn, stained, and buckling. Recommend it be replaced throughout the lower level corridors.
 - b. Ceramic tile
 - i. There are varies types and sizes of tile noted in the restrooms and shower areas.
 - ii. The floor tile in the restrooms across from the gym in in poor condition. Multiple mismatched patches of the floor and base have taken place. Complete removal and replacement as part of a restroom reconstruction.
 - iii. The lobby restroom floor tile is in fair condition.
 - iv. Upper level restroom floor tile in in good condition.
 - c. Vinyl composite tile
 - i. Art room VCT is in fair condition.
 - ii. Kitchen VCT is in good condition
 - iii. Single occupant restrooms in fair condition.
 - d. Sheet vinyl
 - i. The corridor outside the gymnasium has a rolled sheet vinyl flooring system with welded seams, observed in good condition.
 - e. Gym floor
 - i. The gymnasium floor is a wood sports floor, observed in fair condition.
 - ii. It is unknown whether the floor could be refinished or if replacement would be required.



Foster Elementary Interior Finishes



2. Walls

- a. The gymnasium walls are painted lazed block CMU, observed in fair to poor condition.
- b. The painted CMU walls are in good condition
- c. Exposed brick walls are in fair condition. General maintenance is needed to bring them into a good condition.
- d. The gypsum board walls noted on the upper floor are generally in good condition.



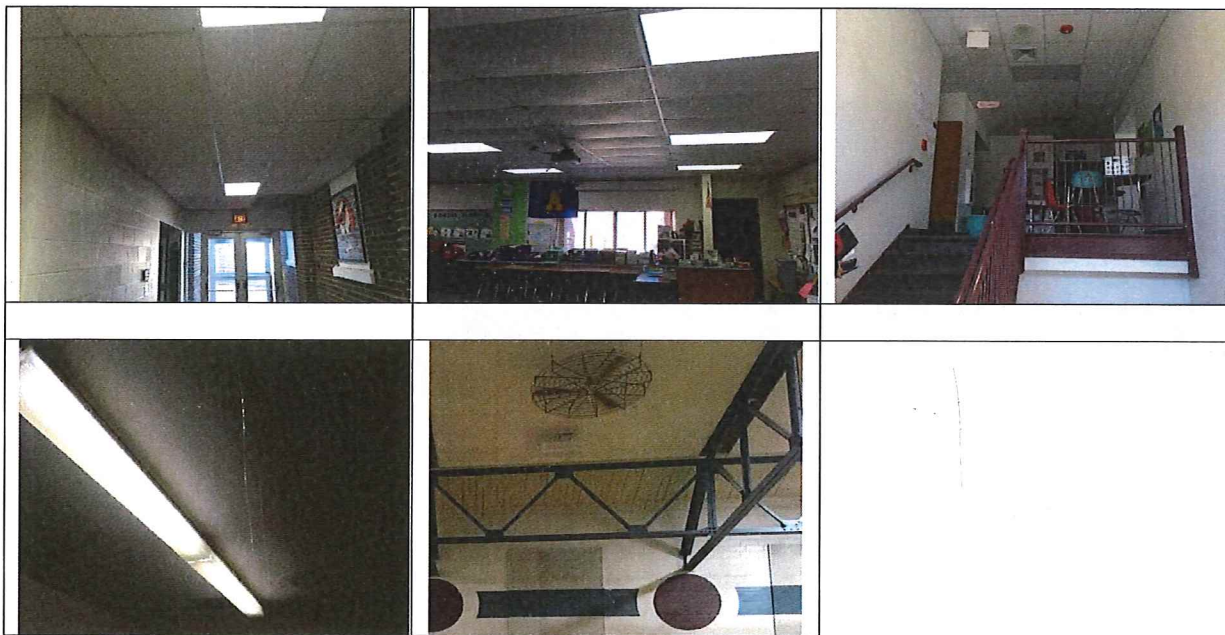
Foster Elementary

Interior Finishes



3. Ceilings

- a. 2'x4'suspended acoustical ceilings
 - i. The lower level corridors are in poor condition and should be replaced. Ceiling tile is mismatched, damaged, and stained. Parts of the grid are damaged and rusting. Recommend that it be replaced.
 - ii. The lower level classrooms are in poor condition and should be replaced. Ceiling tile and grid are mismatched, damaged, and stained. Recommend it be replaced.
 - iii. The upper level ceilings are in good condition.
 - iv. Media center ceilings are in fair condition, observed some damaged and curling ceiling tile.
- b. Painted hard lid ceiling
 - i. The painted hard lid ceilings range from fair to poor condition.
 - ii. Observed peeling paint and cracking, specifically in the restrooms across from the gym. Remove and replace as part of restroom reconstruction.
- c. Exposed
 - i. The exposed metal deck in the storage rooms are in good condition.
 - ii. The exposed wood decking observed in the gymnasium is in fair to poor condition.
- d. Acoustical panel
 - i. The Acoustical panel cloud ceiling in the gymnasium appear to be in good condition.



Foster Elementary

Interior Finishes



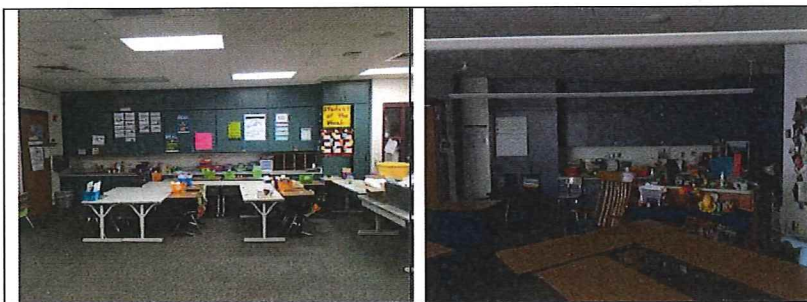
4. Doors and hardware

- a. The lower level classroom doors are fire rated and ADA compliant. The condition of the doors themselves is poor, with chipped edges, faded finish, and patched replaced hardware location.
- b. The classroom doors have lever type locksets and closures, observed in good condition.
- c. The corridor fire/smoke separation doors are in good condition, with the appropriate push bar hardware and magnetic hold open devices.
- d. The upper level doors, frames and hardware are compliant and in good condition.



5. Casework

- a. The plastic laminate classroom casework is generally in good condition consisting of upper, lower and wardrobe cabinets, along with open shelving units.
- b. Sink bases appear to be ADA compliant.
- c. The quantity appeared to meet most of the teachers need for storage.

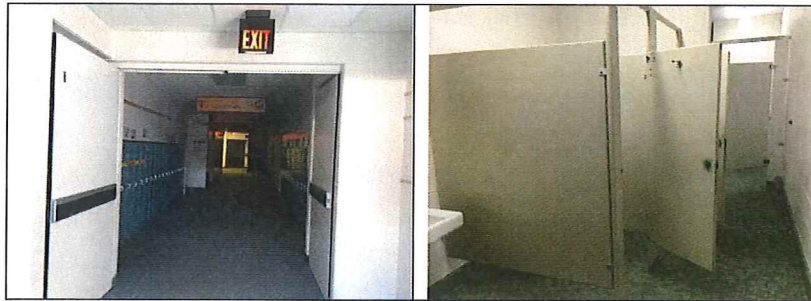


Foster Elementary Interior Finishes



6. Miscellaneous

- a. There are built-in student lockers, observed in good to fair condition
- b. The classroom marker board and tackboards are in good condition.
- c. The toilet partitions vary in material types and conditions. The lower level partitions should be replaced and reconfigured.

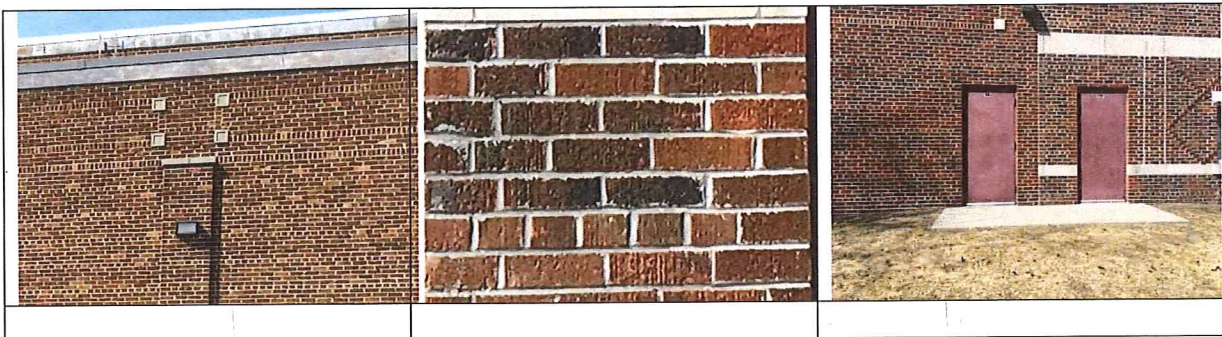


Foster Elementary Building Envelope



Assessment Notes:

1. Brick
 - a. The condition of the brick ranges from good to poor, depending on age of construction.
 - b. Maintenance recommended at control joints and around imbedded items to maintain integrity of the caulk joints.
 - c. Observed some locations where the face of the brick is flaking off.
2. Soffit and fascia
 - a. The stone fascia is in poor condition and showing signs of heavy wear. Recommend it be removed and replaced or rehabilitated.
 - b. Metal panel siding around the media center appears to be in fair
3. Windows and doors
 - a. The aluminum window systems are double pane thermally broken observed in good condition.
 - b. The primary and secondary entrance doors are aluminum storefronts with new hardware, in good condition.
 - c. The secondary doors are FRP with aluminum frames and newer hardware, in good condition.
 - d. The exterior hollow metal doors and frames are starting to show signs of rust. Recommend they be replaced with aluminum or FRP.
4. Roofing
 - a. There are immediate needs for new roofing above the upper level. The coated, rolled roofing is failing at the parapet walls and is open for water infiltration.
 - b. See roofing report for overall assessment.



Foster Elementary Building Envelope

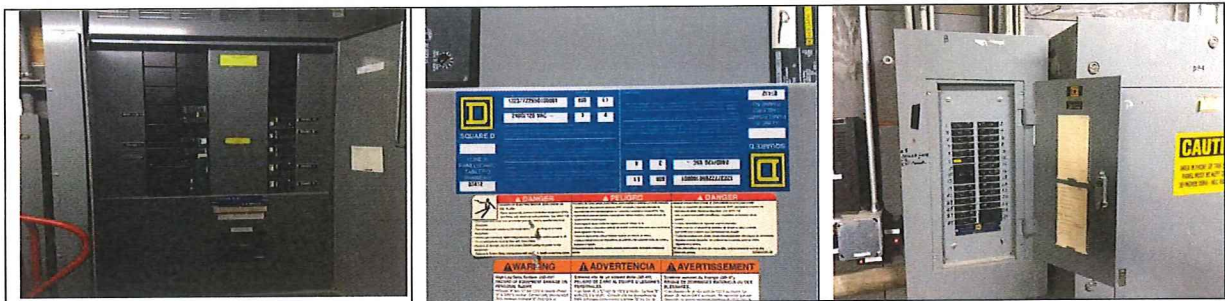


Foster Elementary Electrical & Lighting

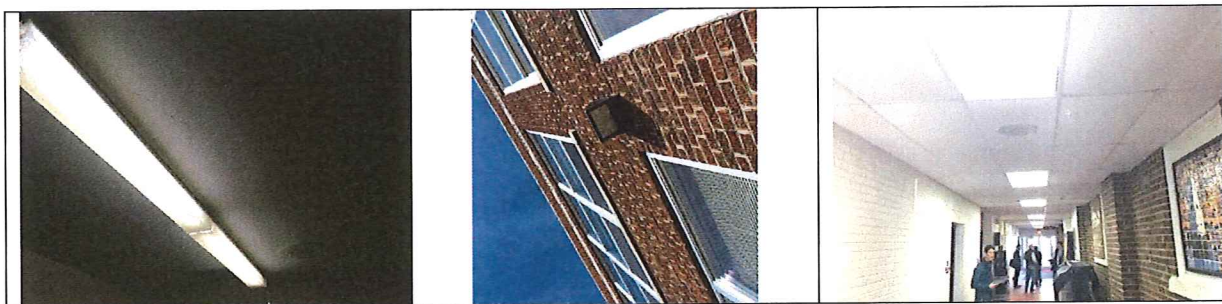


Assessment Notes:

1. Electrical distribution system
 - a. Switchboards, panelboards and associated distribution equipment are newer and appear to be in good working condition.



2. Lighting system
 - a. Interior lighting systems are predominantly T-8 fluorescent technology in the classrooms, corridors, offices and support spaces. T-8 fluorescent technology is reasonably efficient. A cost benefit analysis is recommended for T-8 fluorescent against LED lighting. For other fixtures types (including HID and T-12 fluorescent) it is recommended these be replaced with LED lighting.
 - b. Exterior and gym lighting systems are predominantly LED lighting. These light fixtures can be re-used in a renovation.



3. Lighting control system
 - a. Lighting control systems are predominantly manual wall switches. To meet current energy code requirements occupancy sensors or other lighting controls will need to be installed.
 - b. The exterior lighting is controlled manually and by photocell. Lighting controls with programmable schedules is recommended for renovation.

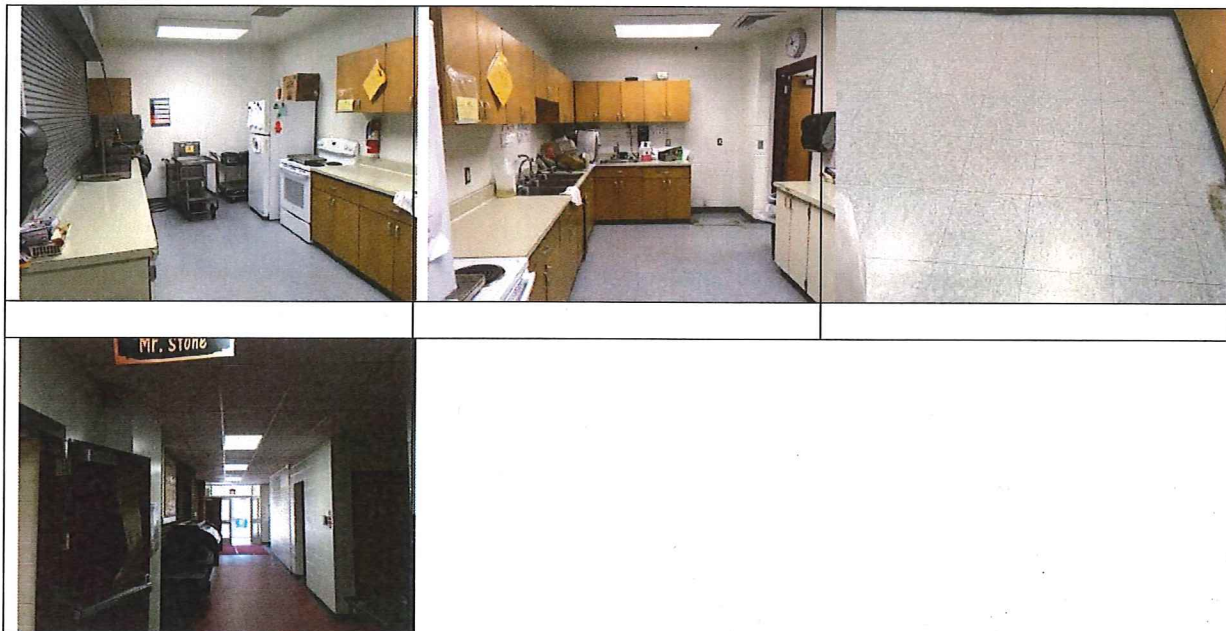
Foster Elementary

Food Service



Assessment Notes:

1. The kitchen is for warming and serving only. There is a single serving point through the East wall. Reconfiguring or relocation of the serving area should be considered to increase flow and efficiency.
2. The kitchen equipment appears to be in good condition.
3. The VCT floor is in good condition.
4. There is a residential stove/oven along with no exhaust hood.
5. Unable to verify a grease interceptor associated with the 3 compartment sink.
6. Casework is of a residential type, in poor condition.
7. The hard lid ceiling appears to be in good condition



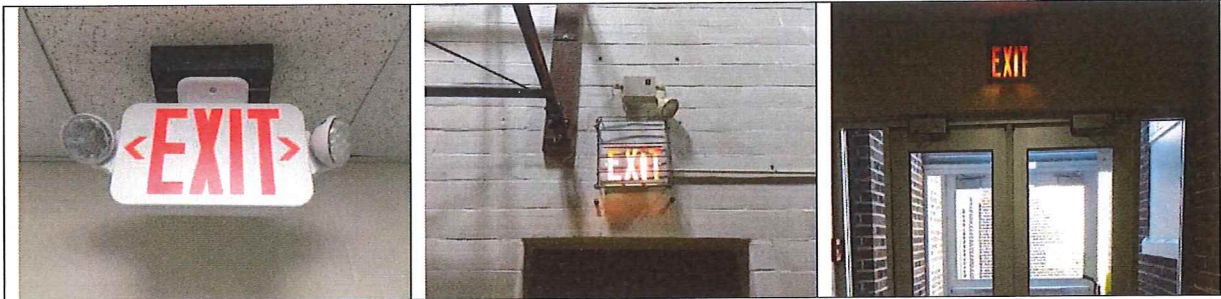
Foster Elementary

Life Safety

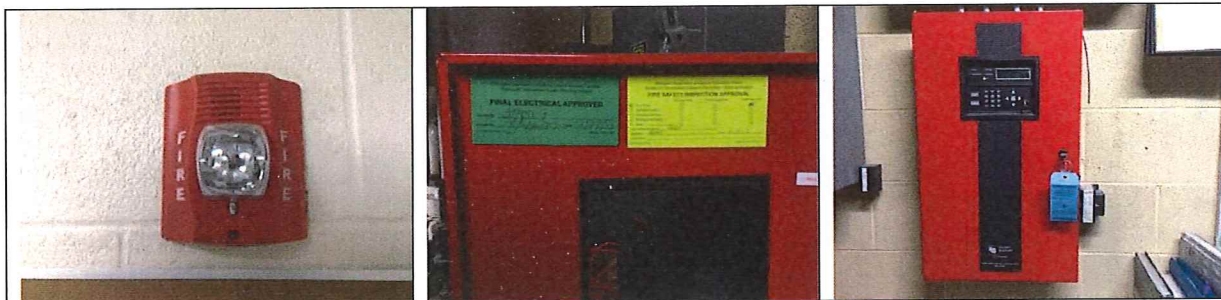


Assessment Notes:

1. Emergency Lighting system
 - a. Emergency egress lighting appears to be supplied by integral light fixture battery packs. The lighting coverage should be evaluated with current code requirements along the path of egress. An electrical generator system could be considered as an alternative to battery packs for emergency power, potentially reducing maintenance and providing standby power.



2. Fire Alarm system
 - a. The fire alarm system appears to be newer and could potentially be upgraded to become code compliant. New additions or remodeling will require voice evacuation to comply with current code.

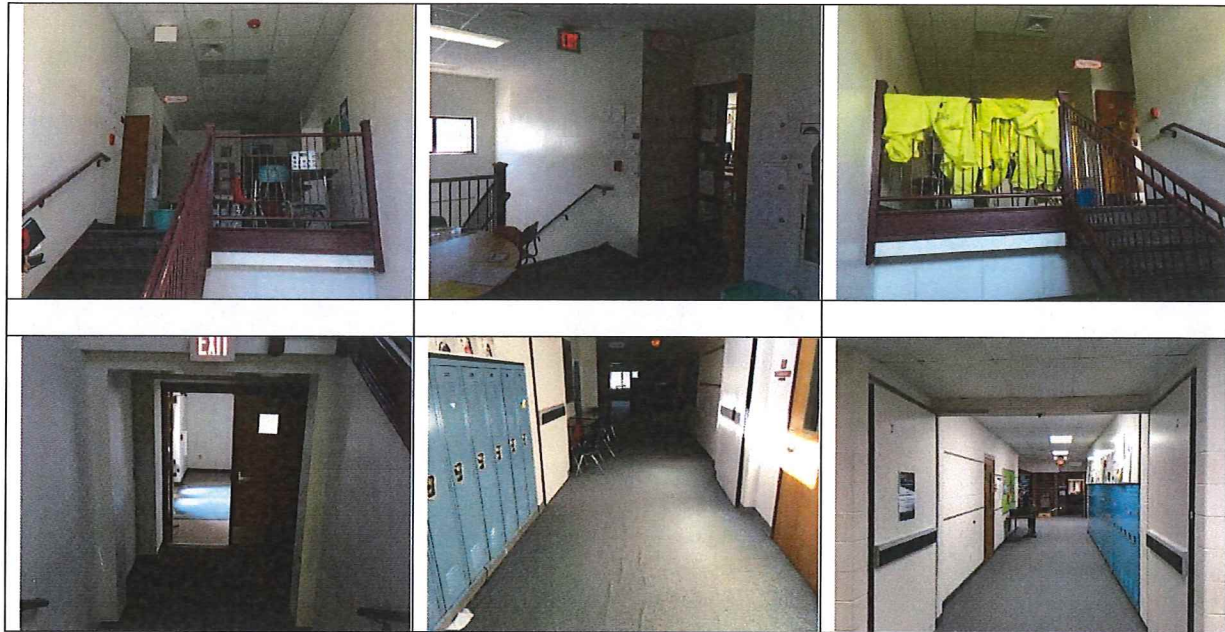


3. Building Components
 - a. The stairwell to the upper level does not meet the current requirements for fire separation. Considerable rework of the upper landing area and classroom entry is needed to bring this up to code.
 - b. The building does not appear to have a fire suppression system and is non-sprinkled.
 - c. The exit corridors have panic bars or crash bars that are in good condition.
 - d. The classroom windows have emergency egress.

Foster Elementary Life Safety



- e. Fire extinguishers cabinets observed throughout the building.
- f. The corridor separation doors are tied into the fire alarm system as required and are in good condition.



Foster Elementary

Mechanical and Plumbing



Assessment Notes:

1. Air handling systems
 - a. Newer air handling units are located above the second floor and serve the South end.
 - b. Air handling unit located in penthouse for media center in good condition.
 - c. Various rooftop units and exhaust fans on roof are older but appear to be in fair condition.



2. Central plant systems
 - a. New boilers (2015) in good condition.
 - b. Older pumps should be replaced with the addition of VFDs.
 - c. No central cooling in building.



Foster Elementary

Mechanical and Plumbing



3. Terminal devices and air terminals
 - a. Cabinet heaters and horizontal unit ventilators throughout are older and in fair condition.
 - b. Consider replacing horizontal unit ventilators with vertical unit ventilators in classrooms and add cooling.



4. Building controls
 - a. Mix of sensor types throughout that are in fair condition. Update as necessary with new air handling units/systems to be installed.



Foster Elementary Mechanical and Plumbing



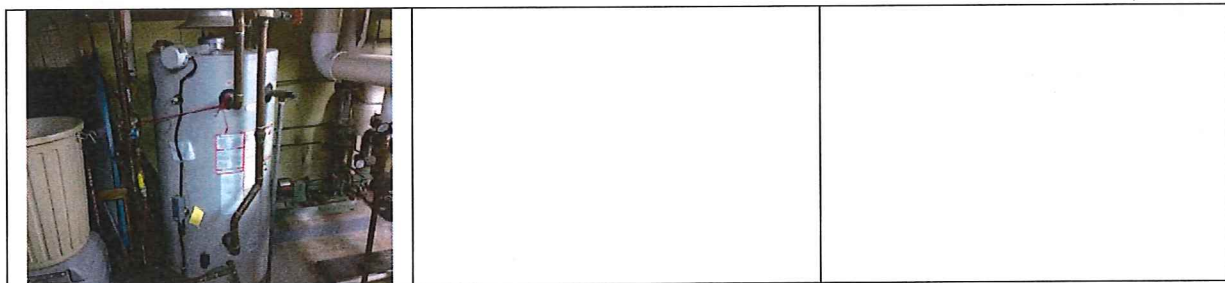
5. Plumbing fixtures

- a. Mix of plumbing fixture types and condition throughout. Older fixtures should be replaced.
- b. Manual flush valves.



6. Plumbing systems

- a. Newer domestic water heater is in good condition.



Foster Elementary

Technology and Communications



Assessment Notes:

1. Technology infrastructure
 - a. The technology infrastructure appears to be newer and in good working condition. The supporting electrical infrastructure should be reviewed for redundancy and proper operation. An electrical generator system could also be considered for the technology closets for standby by power and providing emergency power.
2. Clock and PA systems
 - a. The clock and PA systems appear to be original to the building. This equipment appears in good working condition but is at the end of their life expectancy. Availability of replacement parts and required maintenance should also be considered.



3. Classroom and communications technology
 - a. The technology devices and systems appear to be newer and in good working condition. These systems would be maintained or re-installed after renovation.

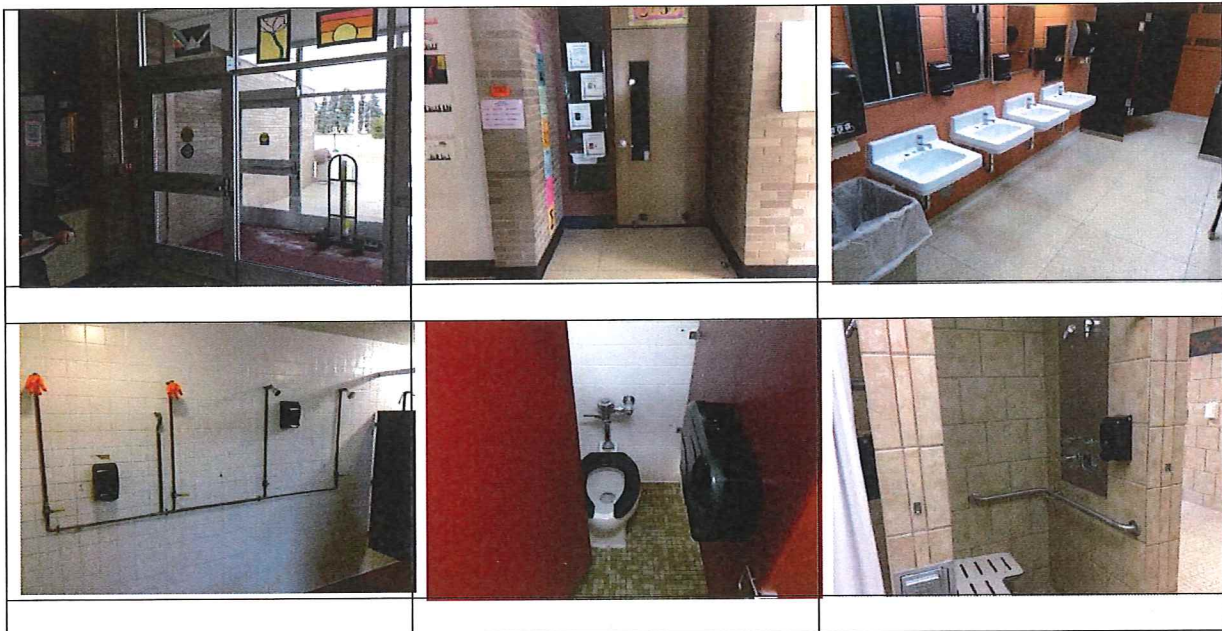
Middle School

ADA Accessibility Assessment



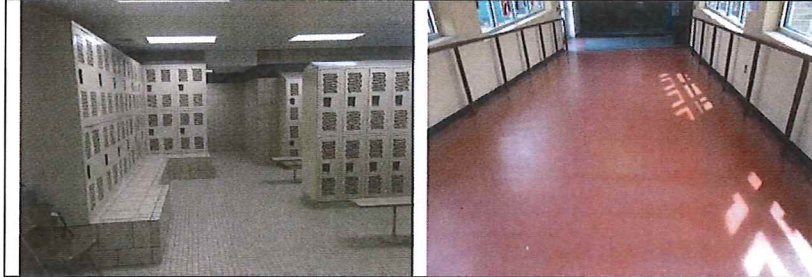
Assessment Notes:

1. Interior
 - a. The main entry has an ADA auto operator.
 - b. Interior doors have a mixture of lever type locksets and non-compliant knob type. Roughly 70% of hardware does not meet current ADA standards.
 - c. The locker rooms adjacent to the pool are not ADA compliant. This includes the shower, water closets and sinks. These rooms require a complete reconstruction to bring up to current ADA and plumbing codes.
 - d. The locker rooms, adjacent to the gymnasium, provide sufficient ADA shower stalls and restroom facilities. The locker rooms are in good condition and appear to have been recently renovated.
 - e. Gang restrooms off the main corridor are partially compliant. Minimal work required to bring them into compliance, lav guards and vertical grab bars only.
 - f. Classroom sinks and hardware are compliant.
 - g. The ramp with-in the main corridor appears to exceed the ADA slope requirements.



Middle School

ADA Accessibility Assessment



2. Exterior

- a. There is no ADA parking near the main entry and it is not clearly defined.
- b. The closest marked ADA parking is on the East side of the building.
- c. No tactile warning strips noted at curb cut downs.
- d. The front entry stoop should be reworked to allow for an ADA landing near the door actuator.



Middle School

Interior Finishes



Assessment Notes:

1. Flooring

a. Carpet

- i. The Broadloom carpet observed in the classrooms and office is in fair condition. Starting to show signs of wear at the high traffic area, but still has some life left in it. This encompasses roughly 50% of the classrooms.
- ii. The broadloom carpet in the media center is in fair condition. Does not need replacement at this time.
- iii. The broadloom carpet in the band room is in fair to poor condition. Recommend it be replaced if there is additional work being performed in this area.

b. Ceramic tile

- i. There are various types and sizes of tile noted in the restrooms and shower areas.
- ii. The pool locker room flooring is in poor condition. Recommend to remove and replace as part of a locker room reconstruction.
- iii. Gymnasium locker room flooring is in good condition.
- iv. Single occupant staff restroom near offices in good condition.
- v. Quarry tile in the vestibules is in good condition.
- vi. The restrooms adjacent to the orchestra room are in fair to poor condition.

c. Vinyl composite tile

- i. Art room VCT is in fair condition.
- ii. VCT is present in a couple of science rooms and the short corridors of the classroom wings. The flooring was in good condition in all observed areas.

d. Luxury vinyl tile

- i. The corridor ramps appear to have a luxury vinyl tile installed. They are in fair condition, with some substrate cracking showing through.

e. Sports floor

- i. The gymnasium floor is a wood sports floor. The wood and finish appear to be in good condition.
- ii. The auxiliary gym floor is rubber sports floor and appears to be in good condition.

f. Terrazzo

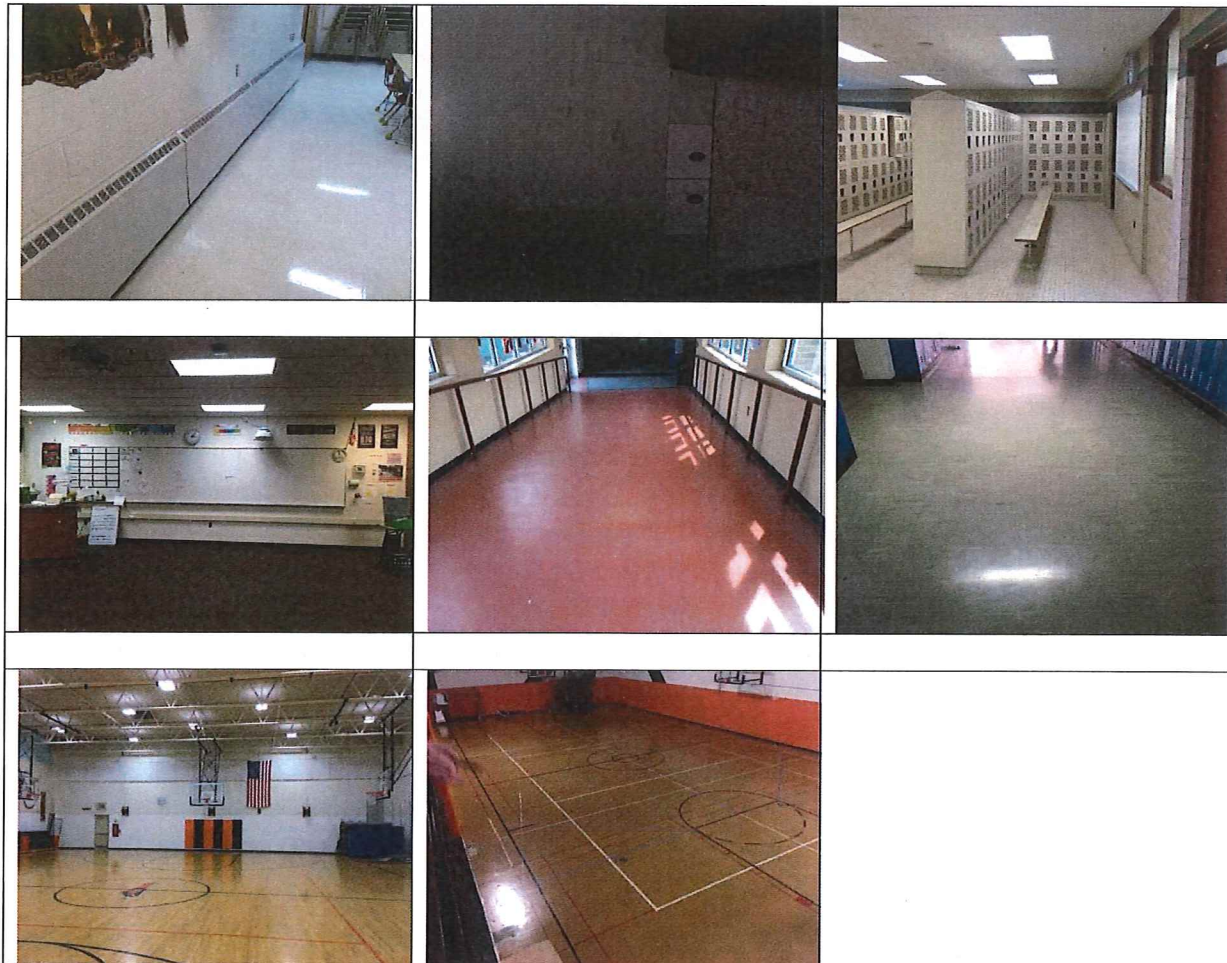
- i. The terrazzo flooring in the corridors is in good condition.
- ii. Terrazzo flooring in the gang restrooms is in good condition.

Middle School Interior Finishes



g. 9x9 floor tile

- i. There are several rooms that have 9x9 vinyl floor tile. This usually means it contains asbestos. Recommend it be removed and replaced with carpet. Roughly 40% of the classrooms contain this type of flooring.
- ii. The section of corridor between the ramp and auditorium corridor have 9x9 floor tile as well. Recommend it be removed and replaced with VCT to match classroom wing corridors.
- iii. The orchestral room is the 9x9 vinyl floor tile. Recommend it be removed and replaced.
- iv. Band practice rooms contain 9x9 vinyl floor tile.



Middle School

Interior Finishes



2. Walls

- a. The primary type of wall construction is painted CMU. This is generally in good condition.
- b. Exposed brick walls are in good condition.
- c. The moveable partition walls noted in several classrooms are in good condition.
- d. There is a minimal amount of gypsum board walls, those observed are in good condition.



3. Ceilings

- a. Suspended acoustical ceilings
 - I. The 2x4 acoustical ceiling in the aquatic center is in poor condition. The tile is sagging considerable and is mismatched. Unable to verify the condition of the grid.
 - II. The classrooms are either a 2x2 or 2x4 acoustic ceiling system. They are generally in good condition.
 - III. Media center ceiling tile are in poor condition. Recommend that the tiles only be replaced as the grid appeared to be in good condition.
 - IV. The band room ceiling tile is in poor condition. Recommend that the tiles only be replaced as the grid appeared to be in good condition
- b. Painted hard lid ceiling
 - I. With the exception of the pool locker rooms, the painted hard lid ceilings are in good condition, with the exception of the aquatic center, where the bulkheads are in poor condition and in need of repair.
- c. Exposed
 - I. The exposed metal deck in the storage rooms are in good condition.
 - II. The exposed tectum deck, above the gymnasium, appeared to be in good condition.
- d. Direct applied acoustical tile
 - I. The direct applied acoustical tile ceilings, noted in a couple corridors, are in good condition.